



Type I Application (Administrative Review)

File #: _____

TYPES – PLEASE CHECK ONE:

- Code Adjustment
- Final Plat
- Minor Design Review
- Property Line Adjustment
- ADU or Cottage Cluster Design Review
- Property Line Consolidation
- Type I Extension or Type I Minor/Major Modification
- Type II or Type III Extension or Minor Modification
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Process Design, LLC

ADDRESS: 504 NE Brazee, Unit 1A Portland, OR 97212

EMAIL ADDRESS: nick@process-pdx.com

PHONE: (971)267-0872 MOBILE: _____ FAX: _____

OWNER (if different from above): Newberg School District PHONE: (503) 554-5000

ADDRESS: 714 E 6TH ST, Newberg, OR, 97132

ENGINEER/SURVEYOR: Ironmark, LLC PHONE: (503)765-8755

ADDRESS: PO Box 38, St Paul, OR 97137

GENERAL INFORMATION:

PROJECT NAME: Support Advocacy for Independence in Life Facility PROJECT LOCATION: 603 S Meridian St

PROJECT DESCRIPTION/USE: Education PROJECT VALUATION: _____

MAP/TAX LOT NO. (i.e.3200AB-400): R3219DA 00800 ZONE: R-2 SITE SIZE: 8,396 SQ. FT. ACRE

COMP PLAN DESIGNATION: MDR TOPOGRAPHY: _____

CURRENT USE: Residential - Previously approved and used as educational

SURROUNDING USES:

NORTH: Residential SOUTH: Residential

EAST: Residential WEST: Educational

SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Current Title Report Written Criteria Response Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

Code Adjustment	p. 4
Final Plat	p. 6
Minor Design Review	p. 10
Property Line Consolidation.....	p. 11
Property Line Adjustment.....	p. 12

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

Nick Turrell May 25, 2022
 Applicant Signature Date

Nikki L. Fowler May 18, 2022
 Owner Signature Date

Nick Turrell - Process Design
 Print Name

Nikki L. Fowler
 Print Name

TYPE I APPLICATION

Final Audit Report

2022-05-19

Created:	2022-05-18
By:	Casey Cunningham (ccunningham@cornerstonemgi.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAo90rXBVGNBv-Xn4jutE0eR7W44hZrJL5

"TYPE I APPLICATION" History

-  Document created by Casey Cunningham (ccunningham@cornerstonemgi.com)
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TYPE II APPLICATION – LAND USE

File #: _____

TYPES – PLEASE CHECK ONE:

- Design review
- Tentative Plan for Partition
- Tentative Plan for Subdivision
- Type II Major Modification
- Variance _____
- Other: (Explain) _____

APPLICANT INFORMATION:

APPLICANT: Process Design, LLC
 ADDRESS: 504 NE Brazee, Unit 1A Portland, OR 97212
 EMAIL ADDRESS: nick@process-pdx.com
 PHONE: 971-267-0872 MOBILE: _____ FAX: _____
 OWNER (if different from above): Newberg School District PHONE: (503) 554-5000
 ADDRESS: 714 E 6TH ST, Newberg, OR, 97132
 ENGINEER/SURVEYOR: Ironmark, LLC PHONE: (503)765-8755
 ADDRESS: PO Box 38, St Paul, OR 97137

GENERAL INFORMATION:

PROJECT NAME: Support Advocacy for Independence in Life Facility PROJECT LOCATION: 603 S Meridian St
 PROJECT DESCRIPTION/USE: Education PROJECT VALUATION: \$500,000
 MAP/TAX LOT NO. (i.e.3200AB-400): R3219DA 00800 ZONE: R-2 SITE SIZE: 8,396 SQ. FT. ACRE
 COMP PLAN DESIGNATION: MDR TOPOGRAPHY: _____
 CURRENT USE: Residential - Previously approved and used as educational
 SURROUNDING USES:
 NORTH: Residential SOUTH: Residential
 EAST: Residential WEST: Educational

SPECIFIC PROJECT CRITERIA AND REQUIREMENTS ARE ATTACHED

General Checklist: Fees Public Notice Information Current Title Report Written Criteria Response Owner Signature

For detailed checklists, applicable criteria for the written criteria response, and number of copies per application type, turn to:

- Design Reviewp. 12
- Partition Tentative Platp. 14
- Subdivision Tentative Platp. 17
- Variance Checklistp. 20

The above statements and information herein contained are in all respects true, complete, and correct to the best of my knowledge and belief. Tentative plans must substantially conform to all standards, regulations, and procedures officially adopted by the City of Newberg. All owners must sign the application or submit letters of consent. Incomplete or missing information may delay the approval process.

Nick Turrell May 25, 2022
 Applicant Signature Date

Nikki L. Fowler May 18, 2022
 Owner Signature Date

Nick Turrell - Process Design
Print Name

Nikki L. Fowler
Print Name

TYPE II APPLICATION (LAND USE)

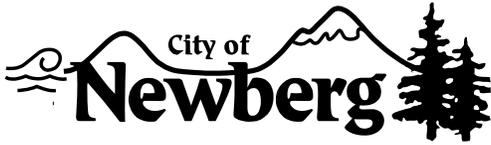
Final Audit Report

2022-05-19

Created:	2022-05-18
By:	Casey Cunningham (ccunningham@cornerstonemgi.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAACKW53aUCPL9LpE_9ZVqPcRt53YwhM8k0

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Community Development Department

P.O. Box 970 ▪ 414 E First Street ▪ Newberg, Oregon 97132

503-537-1240. Fax 503-537-1272 www.newbergoregon.gov

WE WANT YOUR COMMENTS ON A PROPOSED NEW DEVELOPMENT IN YOUR NEIGHBORHOOD

A property owner in your neighborhood submitted an application to the City of Newberg to convert and add onto existing building for the Newberg School District Support Advocacy for Independence in Life Facility. You are invited to take part in the City's review of this project by sending in your written comments. For more details about giving comments, please see the back of this sheet.

The development would include the renovation of the existing 1600 sf building, the addition of 1700 sf, reconfiguration of parking area, and associated sitework.

APPLICANT: Process Design, LLC
TELEPHONE: 775-846-4793

PROPERTY OWNER: Newberg School District

LOCATION: 603 S Meridian St

TAX LOT NUMBER: R3219DA 00800



Working Together For A Better Community-Serious About Service"

We are mailing you information about this project because you own land within 500 feet of the proposed new project. We invite you to send any written comments for or against the proposal within 14 days from the date this notice is mailed.

If you mail your comments to the City, please put the following information on the outside of the envelope:

Written Comments:
City of Newberg
Community Development Department
PO Box 970
Newberg, OR 97132

You can look over all the information about this project or drop comments off at Newberg City Hall, 414 E. First Street. You can also buy copies of the information for a cost of 25 cents a page. If you have any questions about the project, you can call the Newberg Planning Division at 503-537-1240.

All written comments must be turned in by 4:30 p.m. on ***TBD***. Any issue which might be raised in an appeal of this case to the Land Use Board of Appeals (LUBA) must be submitted to the City in writing before this date. You must include enough detail to enable the decision maker an opportunity to respond. The applicable criteria used to make a decision on this application for design review approval are found in Newberg Development Code 15.220.050(B).

The Community Development Director will make a decision at the end of a 14-day comment period. If you send in written comments about this project, you will be sent information about any decision made by the City relating to this project.

Date Mailed: ***TBD***

LAND USE NOTICE

FILE # TBD

PROPOSAL:

The proposed project includes renovating the existing building as well as the construction of a 1700 sf addition to relocate the Newberg School District Support Advocacy for Independence in Life Program.

FOR FURTHER INFORMATION PLEASE CONTACT

City of Newberg
Community Development Department
414 E First Street
Phone: 503-537-1240

NEWBERG SCHOOL DISTRICT

SAIL PROGRAM FACILITY

TYPE 1 – CODE ADJUSTMENT

TYPE 2 – MINOR DESIGN REVIEW



NEWBERG
PUBLIC SCHOOLS

PREPARED FOR:

NEWBERG SCHOOL DISTRICT 29J

714 E. SIXTH STREET

NEWBERG, OR 97132

PREPARED BY:

PROCESS DESIGN, LLC

240 N BROADWAY

PORTLAND, OR 97227

Project Location and Identification

Address: 603 S Meridian St, Newberg, OR 97132

Zoning: R-2

Taxlot: R3219DA 00800

Proposal

The Newberg School District (NSD) is proposing an addition and renovation to an existing single-family structure to relocate its SAIL program. The Support Advocacy for Independence in Life (SAIL) program provides vocational training, independence living skills, social skills, sensory experiences, healthy living and community involvement and awareness. Students who attend the program will have recently graduated from the Newberg School District and age ranges are anticipated to be between 17 and 21 years old. The proposed facility will allow for a maximum of 20 students and 5 support staff.

The project proposes to renovate the existing 1-story, 1,600 SF structure and add 1,700 additional square footage. The site has previously been approved with the education use as well as an adjustment to allow for the existing 15' setbacks. This proposal would also include adjusting the parking area, adding freestanding signage, modifying fencing, adding required storm facilities, and recladding the existing building. The following sections will demonstrate the project's compliance with applicable standards of the development code.

Applicable Standards

The following Standards and Regulations have been addressed within this narrative:

Title 15 Development Code

Chapter 15.210 Code adjustments

15.210.020 Type I adjustments and approval criteria.

Chapter 15.220 Site Design Review

15.220.050 Criteria for design review.

Chapter 15.405 Lot requirements

15.405.040 Lot coverage and parking coverage requirements.

Chapter 15.410 Yard setback requirements

15.410.020 Front yard setback.

15.410.030 Interior yard setback.

15.410.040 Setback and yard restrictions as to schools, churches, public buildings.

Chapter 15.420 Landscaping

15.420.010 Required minimum standards.

Chapter 15.435 Signs

15.435.050 Major freestanding signs.

Chapter 15.440 Off-street parking, bicycle parking, and private walkways

15.440.010 Required off-street parking.

15.440.060 Parking area and service drive improvements.

Chapter 15.210 Code Adjustments

15.210.020 Type I adjustments and approval criteria.

The director may authorize adjustments from the following requirements through a Type I procedure subject to the following:

B. Interior Yard Setback Requirements in Residential Zones.

1. *Except for lots designated as "zero lot line lots," the director may approve an adjustment in the interior yard requirements so that a distance not less than three feet is maintained.*

RESPONSE: We are requesting that the 25' setback requirement for schools on the West and South property lines be reduced to 5'.

2. *Approval Criteria. Approval of an adjustment to the interior yard setback shall be based upon the following:*

- a. *A site plan is approved by the director prior to issuance of a building permit. In approving a site plan, the director may attach any conditions necessary to fulfill the purpose of this code.*

RESPONSE: See included site plan.

- b. *Adequate light, air and open space will be provided on the lot.*

RESPONSE: As the lot has street frontage on the North, East, and West, light and air will not be affected along those property lines by reducing the setbacks. This adjustment allows for the largest possible outdoor open space on the Northwest corner of the property with the required program. Existing open space is maintained on the East and North side of the property. To reduce affect of the proposed addition to the South neighbor, the building will be limited to one story and the gable is oriented to provide maximum light into the neighboring building.

- c. *The building is limited to one story.*

RESPONSE: The building will remain one story.

- d. *The building is compatible with physical conditions and adjacent property.*

RESPONSE: The building will maintain the scale and appearance of a single-family home in a single-family neighborhood. Because of this, reducing the setbacks on the South and West property line to the allowable setbacks of a single-family home in this neighborhood is compatible with adjacent properties. The neighboring building is built up to 5' from the property line on the North and less than 1' from the South and West. The proposed addition will maintain a larger setback than the neighboring property provides to its Southern neighbor.

- e. *The adjustment is consistent with the setbacks, lot area, and/or coverage of buildings or structures previously existing in the immediate vicinity.*

RESPONSE: In general, properties along S Meridian St between 6th & 7th have 1 to 2 facades between 0 and 5' of the property line. The proposed building would provide the 5' setbacks on 2 facades and retain the setbacks of the existing building on the North and East.

Chapter 15.220 Site Design Review

15.220.050 Criteria for design review.

B. Type II. The following criteria are required to be met in order to approve a Type II design review request:

1. *Design Compatibility. The proposed design review request incorporates an architectural design which is compatible with and/or superior to existing or proposed uses and structures in the surrounding area. This shall include, but not be limited to, building architecture, materials, colors, roof design, landscape design, and signage.*

RESPONSE: The design of the addition maintains the character of the existing building and neighborhood through the small scale of the structure and continuation of the gable form. The exterior materials include a mix of light-colored fiber cement lap siding, darker colored fiber cement panel and cedar accents. This mix retains some of the single-family home aesthetic while incorporating materials that elevate it to its proposed use as a school facility.

2. *Parking and On-Site Circulation. Parking areas shall meet the requirements of NMC 15.440.010. Parking studies may be required to determine if adequate parking and circulation are provided for uses not specifically identified in NMC 15.440.010. Provisions shall be made to provide efficient and adequate on-site circulation without using the public streets as part of the parking lot circulation pattern. Parking areas shall be designed so that vehicles can efficiently enter and exit the public streets with a minimum impact on the functioning of the public street.*

RESPONSE: Due to site constraints, parking will be limited to 2 parking spaces, one of which will be van accessible. Other users will utilize street parking and adjacent school parking lot per previous agreement with City of Newberg. With such a limited parking count, the users will back into Meridian St the same as the surrounding properties with a driveway. Per previous file numbers DR1-070-016 and ADJC 07-006, 1 van accessible parking stall was required. See section NMC15.440.010 responses below.

3. *Setbacks and General Requirements. The proposal shall comply with NMC 15.415.010 through 15.415.060 dealing with height restrictions and public access; and*

NMC15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.

RESPONSE: Setbacks will be reduced to 5' on South and West with Code Adjustment. Required school 25' setbacks on North and East will be provided for proposed addition. See specific sections with responses below.

4. Landscaping Requirements. The proposal shall comply with NMC 15.420.010 dealing with landscape requirements and landscape screening.

RESPONSE: See specific sections with responses below.

5. Signs. Signs shall comply with NMC 15.435.010 et seq. dealing with signs.

RESPONSE: See specific sections with responses below.

7. Zoning District Compliance. The proposed use shall be listed as a permitted or conditionally permitted use in the zoning district in which it is located as found in NMC 15.305.010 through 15.336.020. Through this site review process, the director may make a determination that a use is determined to be similar to those listed in the applicable zoning district, if it is not already specifically listed. In this case, the director shall make a finding that the use shall not have any different or more detrimental effects upon the adjoining neighborhood area than those specifically listed.

RESPONSE: School use is a permitted use in the zoning district.

8. Subdistrict Compliance. Properties located within subdistricts shall comply with the provisions of those subdistricts located in NMC 15.340.010 through 15.348.060.

RESPONSE: This project is not located within a subdistrict.

9. Alternative Circulation, Roadway Frontage Improvements and Utility Improvements. Where applicable, new developments shall provide for access for vehicles and pedestrians to adjacent properties which are currently developed or will be developed in the future. This may be accomplished through the provision of local public streets or private access and utility easements. At the time of development of a parcel, provisions shall be made to develop the adjacent street frontage in accordance with city street standards and the standards contained in the transportation plan. At the discretion of the city, these improvements may be deferred through use of a deferred improvement agreement or other form of security.

RESPONSE: Sidewalks already exist on both the North and East of the site but will be replaced as needed in damaged areas affected by tree root disturbance. No other improvements are proposed.

10. *Traffic Study Improvements. If a traffic study is required, improvements identified in the traffic study shall be implemented as required by the director. 15.405.010 through 15.405.040 and 15.410.010 through 15.410.070 dealing with setbacks, coverage, vision clearance, and yard requirements.*

RESPONSE: Per PRE22-0008, the students using the facility are not new students and no new trips will be generated. A traffic study will not be required.

CHAPTER 15.405 LOT REQUIREMENTS

15.405.040 Lot coverage and parking coverage requirements.

B. Residential uses in residential zones shall meet the following maximum lot coverage and parking coverage standards; however, cottage cluster projects shall be exempt from the standards. See the definitions in NMC 15.05.030 and Appendix A, Figure 4.

RESPONSE: While this project is not a residential use and does not have a lot coverage limitation, it is in a residential zone and will appear as a single-family home. To fit with the context, we are showing compliance with the regulations below.

1. *Maximum Lot Coverage.*

b. R-2 and RP: 60 percent.

RESPONSE: Lot coverage of existing building and addition combined is 39% and meets this requirement.

2. *Maximum Parking Coverage. R-1, R-2, R-3, and RP: 30 percent.*

RESPONSE: Parking coverage is 15% which meets this requirement.

3. *Combined Maximum Lot and Parking Coverage.*

b. R-2, R-3, RP and townhouse dwellings in R-1: 70 percent.

RESPONSE: Combined coverage is 54%.

C. All other districts and uses not listed in subsection (B) of this section shall not be limited as to lot coverage and parking coverage except as otherwise required by this code.

CHAPTER 15.410 YARD SETBACK REQUIREMENTS

15.410.020 Front yard setback.

A. *Residential (see Appendix A, Figure 10).*

1. *AR, R-1 and R-2 districts shall have a front yard of not less than 15 feet. Said yard shall be landscaped and maintained.*

RESPONSE: With previous code adjustment DR1-07-016, 15' setbacks were approved for the existing building. The proposed addition will provide greater than 25' setbacks on the front yards and will meet the setback requirements for a school listed below.

15.410.030 Interior yard setback.

A. *Residential.*

1. *All lots or development sites in the AR, R-1, R-2 and R-3 districts shall have interior yards of not less than five feet, except that where a utility easement is recorded adjacent to a side lot line, there shall be a side yard no less than the width of the easement.*

RESPONSE: With the code adjustment detailed above, we would be meeting the 5' setback requirements of the surrounding neighborhood.

15.410.040 Setback and yard restrictions as to schools, churches, public buildings.

A. *Building Setback. No buildings shall be erected, used or maintained for a school, church or public or semi-public building or use, institution or similar use under the regulations of this code unless such building is removed at least 25 feet from every boundary line of any property included in any residential district.*

RESPONSE: The code adjustment detailed above would allow for reduced setbacks to 5' on the South and West property lines. Our addition is set back 48' from the North and 36' from the East, which meets the requirements.

B. *Required Yard. No required front or interior yard of the lot on which such building or use is located shall be used for play or parking purposes. [Ord. 2451, 12-2-96. Code 2001 § 151.553.]*

RESPONSE: With the code adjustment, the parking spaces will not be in the required interior yard. They are separated from the South property line by a 5' planting buffer and fence.

CHAPTER 15.420 LANDSCAPING AND OUTDOOR AREAS

15.420.010 Required minimum standards.

B. Required Landscaped Area. The following landscape requirements are established for all developments except single-family detached dwellings, duplex dwellings, triplex dwellings, quadplex dwellings, townhouse dwellings and cottage cluster projects:

- 1. A minimum of 15 percent of the lot area shall be landscaped; provided, however, that computation of this minimum may include areas landscaped under subsection (B)(3) of this section. Development in the C-3 (central business district) zoning district and M-4 (large lot industrial) zoning district is exempt from the 15 percent landscape area requirement of this section. Additional landscaping requirements in the C-4 district are described in NMC 15.352.040(K). In the AI airport industrial district, only a five percent landscaping standard is required with the goal of "softening" the buildings and making the development "green" with plants, where possible. The existence of the runway, taxiway, and approach open areas already provide generally for the 15 percent requirement. Developments in the AI airport industrial district with a public street frontage shall have said minimum landscaping between the front property line and the front of the building.*

RESPONSE: 30% of the site will be landscaped.

- 2. All areas subject to the final design review plan and not otherwise improved shall be landscaped.*

RESPONSE: Noted.

- 3. The following landscape requirements shall apply to the parking and loading areas:*
 - b. A parking, loading area, or drive aisle which runs adjacent to a property line shall be separate from any lot line adjacent to a street by a landscaped strip at least 10 feet in interior width or the width of the required yard, whichever is greater, and any other lot line by a landscaped strip of at least five feet in interior width. See subsections (B)(3)(c) and (d) of this section for material to plant within landscape strips.*

RESPONSE: The parking area on the Southwest of the property is currently screened from the neighbor to the South by planting and fencing. This planting will remain as is with new parking layout.

- d. A landscaped strip separating a parking area, loading area, or drive aisle from an interior lot line shall contain any combination of trees, shrubs, ground cover*

or lawn. Plant material shall be selected from at least two different plant material groups (example: trees and shrubs, or lawn and shrubs, or lawn and trees and shrubs).

RESPONSE: See landscape plans for plant types and locations.

4. *Trees, Shrubs and Ground Covers. The species of street trees required under this section shall conform to those authorized by the city council through resolution. The director shall have the responsibility for preparing and updating the street tree species list which shall be adopted in resolution form by the city council.*

RESPONSE: See landscape plans for approved street trees and locations.

CHAPTER 15.435 SIGNS

15.435.050 Major freestanding signs.

A. Number.

1. *Residential, I, and CF Zones. One major freestanding sign is allowed on each street frontage, plus one sign for each full 600 feet of street frontage. Only one sign on each street frontage may be an animated sign.*

RESPONSE: The project proposes signage location along Meridan. This proposal identifies future signage location. Actual signage will be submitted under a separate permit.

B. Size.

1. *Residential Zones. No major freestanding sign shall be larger than 0.2 square feet per foot of street frontage, up to a maximum of 50 square feet. At least six square feet of signage will be allowed. Major freestanding signs are not allowed on lots containing only one single-family dwelling or duplex.*

RESPONSE: The frontage along Meridian st is 84'. $84' * 0.2 \text{ sf} = 16.8 \text{ sf}$. The proposed signage location is 12 SF and attached to a planter and bench.

C. *Height and Setbacks. Freestanding signs regulated by this section are not subject to the setback requirements of NMC 15.410.010 through 15.410.070 or the projecting building features requirements of said sections. Height and setbacks of freestanding signs shall conform to the following requirements:*

2. *Other Zones.*

- a. *A sign up to three feet in height is not required to be set back from any property line.*

RESPONSE: The proposed sign is 3' tall, but is held back from the property line more than 5'.

CHAPTER 15.440 OFF-STREET PARKING, BICYCLE PARKING, AND PRIVATE WALK

15.440.010 Required off-street parking.

- A. *Off-street parking shall be provided on the development site for all R-1, C-1, M-1, M-2 and M-3 zones. In all other zones, the required parking shall be on the development site or within 400 feet of the development site which the parking is required to serve. All required parking must be under the same ownership as the development site served except through special covenant agreements as approved by the city attorney, which bind the parking to the development site.*

RESPONSE: 2 off-street parking spaces are provided on the East of the building. This is the maximum feasible number of parking spaces while maintaining open space, planting and site circulation. The southern space will be van accessible while the other space will be used mainly for dropoff purposes. Remaining parking demand will be provided at the Newberg School District offices next door at 714 E. Sixth Street per DR1-07-016.

15.440.060 Parking area and service drive improvements.

All public or private parking areas, outdoor vehicle sales areas, and service drives shall be improved according to the following:

- A. *All parking areas and service drives shall have surfacing of asphaltic concrete or Portland cement concrete or other hard surfacing such as brick or concrete pavers. Other durable and dust-free surfacing materials may be approved by the director for infrequently used parking areas. All parking areas and service drives shall be graded so as not to drain stormwater over the public sidewalk or onto any abutting public or private property.*

RESPONSE: Onsite parking area will be surfaced with concrete.

- B. *All parking areas shall be designed not to encroach on public streets, alleys, and other rights-of-way. Parking areas shall not be placed in the area between the curb and sidewalk or, if there is no sidewalk, in the public right-of-way between the curb and the property line. The director may issue a permit for exceptions for unusual circumstances where the design maintains safety and aesthetics.*

RESPONSE: Parking area is clear of the street and right-of-way. See site plan.

D. All parking areas, including service drives, except those required in conjunction with single-family detached, duplex, triplex, quadplex or townhouse dwellings or cottage cluster projects, shall be screened in accordance with NMC 15.420.010(B).

RESPONSE: See section 15.420.010(B) above for response regarding screening.

SUPPORT ADVOCACY FOR INDEPENDENCE IN LIFE FACILITY

NEWBERG SCHOOL DISTRICT



PROJECT SUMMARY

CONVERSION OF SINGLE FAMILY HOME TO NEWBERG SCHOOL DISTRICT SAIL PROGRAM BUILDING. SCOPE INCLUDES RENOVATION OF EXISTING HOME AND 1700 SQ FT ADDITION.

PROJECT ADDRESS: 603 S MERIDIAN ST, NEWBERG, OR, 97132
 TAX PARCEL NO: R3219DA 00800
 APPLICABLE CODE: 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC) + AMENDMENTS
 EXISTING ZONING: R-2 MEDIUM DENSITY RESIDENTIAL
 OCCUPANCY GROUPS: BUSINESS (B)
 TYPE OF CONSTRUCTION: VB
 SEWER DISTRICT: CITY OF NEWBERG
 WATER DISTRICT: CITY OF NEWBERG
 SITE AREA: 8,396 SF
 (E) BUILDING AREA: 1,604 SF
 (N) BUILDING AREA: 1,684 SF
 TOTAL BUILDING AREA: 3,288 SF

DRAWING SYMBOL LEGEND

	DETAIL CALLOUT
	ENLARGED PLAN REFERENCE
	WALL SECTION
	BUILDING SECTION
	INTERIOR ELEVATION TAG
	BUILDING ELEVATION TAG
	REVISION TAG
	REVISION CLOUD
	GRID LINE
	WALL ASSEMBLY TAG
	WINDOW TAG
	DOOR TAG
	INDICATES TRUE NORTH
	INDICATES PROJECT NORTH
	LEVEL
	WALL
	WALL OR ELEMENT TO REMAIN

REVISIONS

#	DESCRIPTION	DATE
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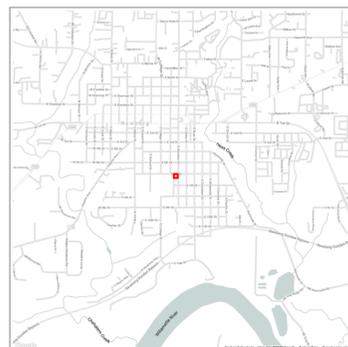
ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
AD	AREA DRAIN	IPNT	INTUMESCENT PAINT
AFF	ABOVE FINISHED FLOOR	INSUL	INSULATED
ALT	ALTERNATE	INT	INTERIOR
ALUM	ALUMINUM	MAX	MAXIMUM
ANOD	ANODIZED	MDF	MICRO DENSITY FIBERBOARD
BIM	BUILDING INFORMATION MODELING	MO	MASONRY OPENING
BOT	BOTTOM	MECH	MECHANICAL
CG	CORNER GUARD	MIN	MINIMUM
CIP	CAST IN PLACE	MISC	MISCELLANEOUS
CJ	CONTROL JOINT	MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
CL	CENTER LINE	MTL	METAL
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NIS	NOT IN SCOPE
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OFCl	OWNER FURNISHED, CONTRACTOR INSTALLED
CPT	CARPET	OFOI	OWNER FURNISHED, OWNER INSTALLED
CT	CERAMIC TILE	OH	OVERHEAD
CW	COLD WATER	OSB	ORIENTED STRAND BOARD
DEMO	DEMOLITION OR DEMOLISH	OPP	OPPOSITE
DF	DRINKING FOUNTAIN	PL	PROPERTY LINE
DIA	DIAMETER	PLAM	PLASTIC LAMINATE
DIM	DIMENSION	PLUMB	PLUMBING
DN	DOWN	PT	PRESSURE TREATED
DR	DOOR	PNT	PAINT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
DWG	DRAWING	R	RISER
EA	EACH	RB	RUBBER BASE
EFS	EXTERIOR INSULATED FINISH SYSTEM	RBR	RUBBER
EL	EXPANSION JOINT	RCP	REFLECTED CEILING PLAN
EL	ELEVATION	RD	ROOF DRAIN
ELEC	ELECTRICAL OR ELECTRIC	REQD	REQUIRED
ELEV	ELEVATION	RO	ROUGH OPENING
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	SIM	SIMILAR
EQ	EQUAL	SD	SMOKE DETECTOR
EXIST	EXISTING	SPEC	SPECIFICATION OR SPECIFIED
EXT	EXTERIOR	SSTL	STAINLESS STEEL
FD	FLOOR DRAIN	STC	SOUND TRANSMISSION CLASS
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FF	FINISHED FLOOR OR FINISHED FACE	STRUCT	STRUCTURAL OR STRUCTURE
FFL	FINISHED FLOOR LEVEL	T	TREAD
FLR	FLOOR	T&G	TOUNGE AND GROOVE
FO	FACE OF	TO	TOP OF
FRT	FIRE RESISTANT TREATED	TOC	TOP OF CONCRETE
GA	Gauge	TOS	TOP OF STEEL
GALV	GALVANIZED	TYP	TYPICAL
GL	GLAZING	UNO	UNLESS NOTED OTHERWISE
GWB	GYPSUM WALL BOARD	VCT	VINYL COMPOSITION TILE
HC	HOLLOW CORE	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	WD	WOOD
HR	HOUR	WR	WATER RESISTANT
HW	HOT WATER	WSP	WOOD STRUCTURAL PANEL
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	WWM	WOVEN WIRE MESH

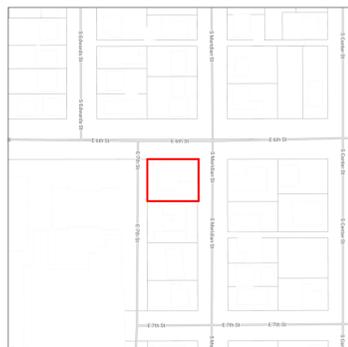
PROJECT TEAM

OWNER NEWBERG SCHOOL DISTRICT ADDRESS: 714 E 6TH ST, NEWBERG, OR CONTACT: NIKKI POWLER PHONE: 503.554.5004	ARCHITECT PROCESS DESIGN, LLC ADDRESS: 504 NE BRAZEE PORTLAND, OR 97212 CONTACT: JASON KARAM PHONE: 775.846.4793	CIVIL ENGINEER J3 CONSULTING ADDRESS: 9600 SW NIMBUS AVE, # 100, BEAVERTON OR CONTACT: JESSE EMERSON PHONE:	MECHANICAL ENGINEER SAZAN GROUP ADDRESS: 111 SW 5TH AVE #3210, PORTLAND, OR 97204 CONTACT: DANIEL TOUGER PHONE: 503.416.2400
OWNER'S REPRESENTATIVE CORNERSTONE MANAGEMENT GROUP ADDRESS: 31425 SW COUNTRY VIEW LN WILSONVILLE, OR 97070 CONTACT: CASEY CUNNINGHAM PHONE: 503.949.5223	STRUCTURAL ENGINEER PCS STRUCTURAL SOLUTIONS ADDRESS: 101 SW MAIN ST, PORTLAND, OR 97204 CONTACT: LUKE HEATH PHONE: 503.232.3746	ELECTRICAL ENGINEER SAZAN GROUP ADDRESS: 111 SW 5TH AVE #3210, PORTLAND, OR 97204 CONTACT: DANIEL TOUGER PHONE: 503.416.2400	

VICINITY MAP



LOCATION MAP



SHEET INDEX

SHEET NUMBER	SHEET NAME
DR0.00	COVER SHEET
DR0.01	EXISTING SITE PLAN
DR1.01	SITE PLAN
DR2.01	FLOOR PLAN
DR3.01	ELEVATIONS
DR3.02	ELEVATIONS
C1.0	PUBLIC IMPROVEMENTS & STORMWATER MANAGEMENT PLAN

DEVELOPMENT REVIEW

NEWBERG SD SAIL PROGRAM CENTER
603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
 PROJECT NO: 22002
 DRAWN BY: Author

COVER SHEET

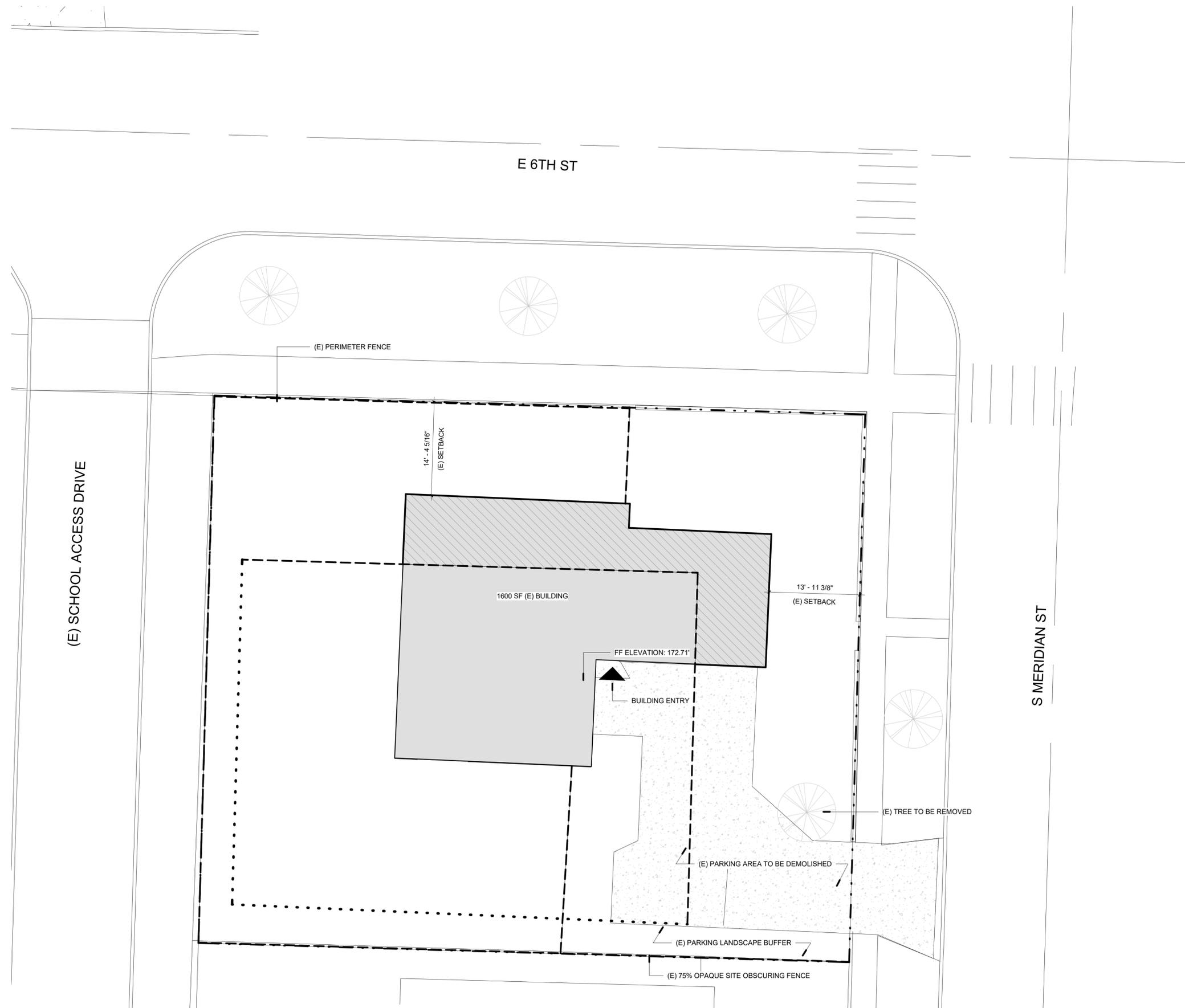
DR0.00

SITE PLAN NOTES

1. REFERENCE CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- SITE GEOMETRY AND DIMENSIONAL CONTROL, INCLUDING FINISH ELEVATIONS
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE

SITE PLAN SYMBOL LEGEND

---	PROPERTY LINE		(E) CONCRETE
---	FENCING		(N) CONCRETE
•••••	5' SETBACKS W/ CODE ADJUSTMENT		(E) BUILDING
--- --	25' SCHOOL SETBACKS		(N) BUILDING
	NEW STREET TREE		GRASS/LANDSCAPE AREA
	EXISTING STREET TREE		(E) NON CONFORMING BUILDING TO SETBACKS



REVISIONS

#	DESCRIPTION	DATE

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



DEVELOPMENT REVIEW

ISSUE DATE:	5/17/22
PROJECT NO:	22002
DRAWN BY:	Author

EXISTING SITE PLAN

DR0.01

1 EXISTING ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

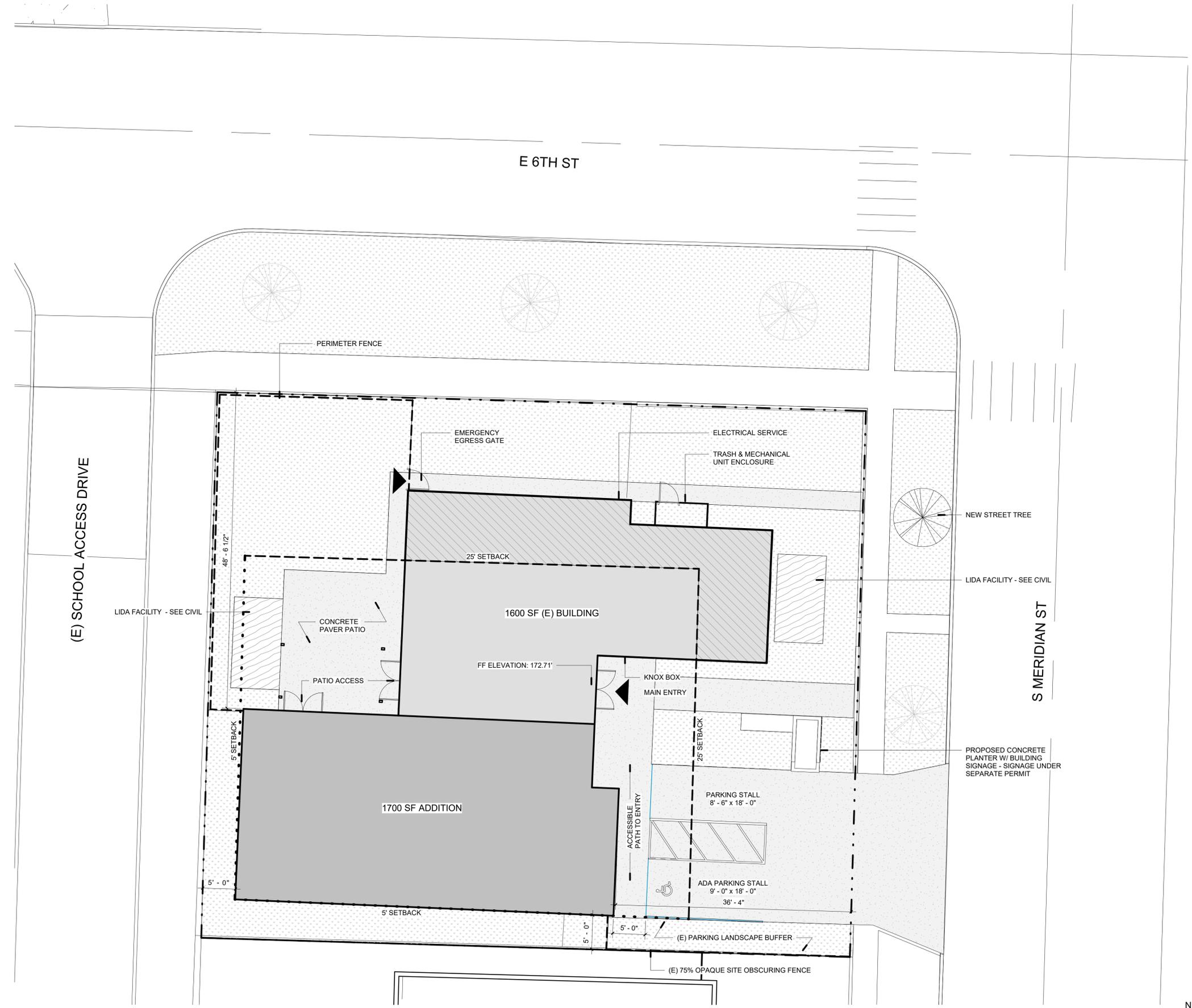
P:\Newberg Public School SAIL Program\35-BIM\22002- SAIL Program.rvt
5/24/2022 1:00:10 PM

SITE PLAN NOTES

1. REFERENCE CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- SITE GEOMETRY AND DIMENSIONAL CONTROL, INCLUDING FINISH ELEVATIONS
 - SITE UTILITIES
 - SITE GRADING AND DRAINAGE

SITE PLAN SYMBOL LEGEND

---	PROPERTY LINE	(E) CONCRETE
---	FENCING	(N) CONCRETE
•••••	5' SETBACKS W/ CODE ADJUSTMENT	(E) BUILDING
---	25' SCHOOL SETBACKS	(N) BUILDING
⊗	NEW STREET TREE	GRASS/LANDSCAPE AREA
⊗	EXISTING STREET TREE	(E) NON CONFORMING BUILDING TO SETBACKS



REVISIONS

#	DESCRIPTION	DATE

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: NT

DEVELOPMENT REVIEW

SITE PLAN

DR1.01

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

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5/24/2022 3:00:20 PM

REVISIONS

#	DESCRIPTION	DATE

**NEWBERG SD SAIL
PROGRAM CENTER**

603 S MERIDIAN ST., NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT

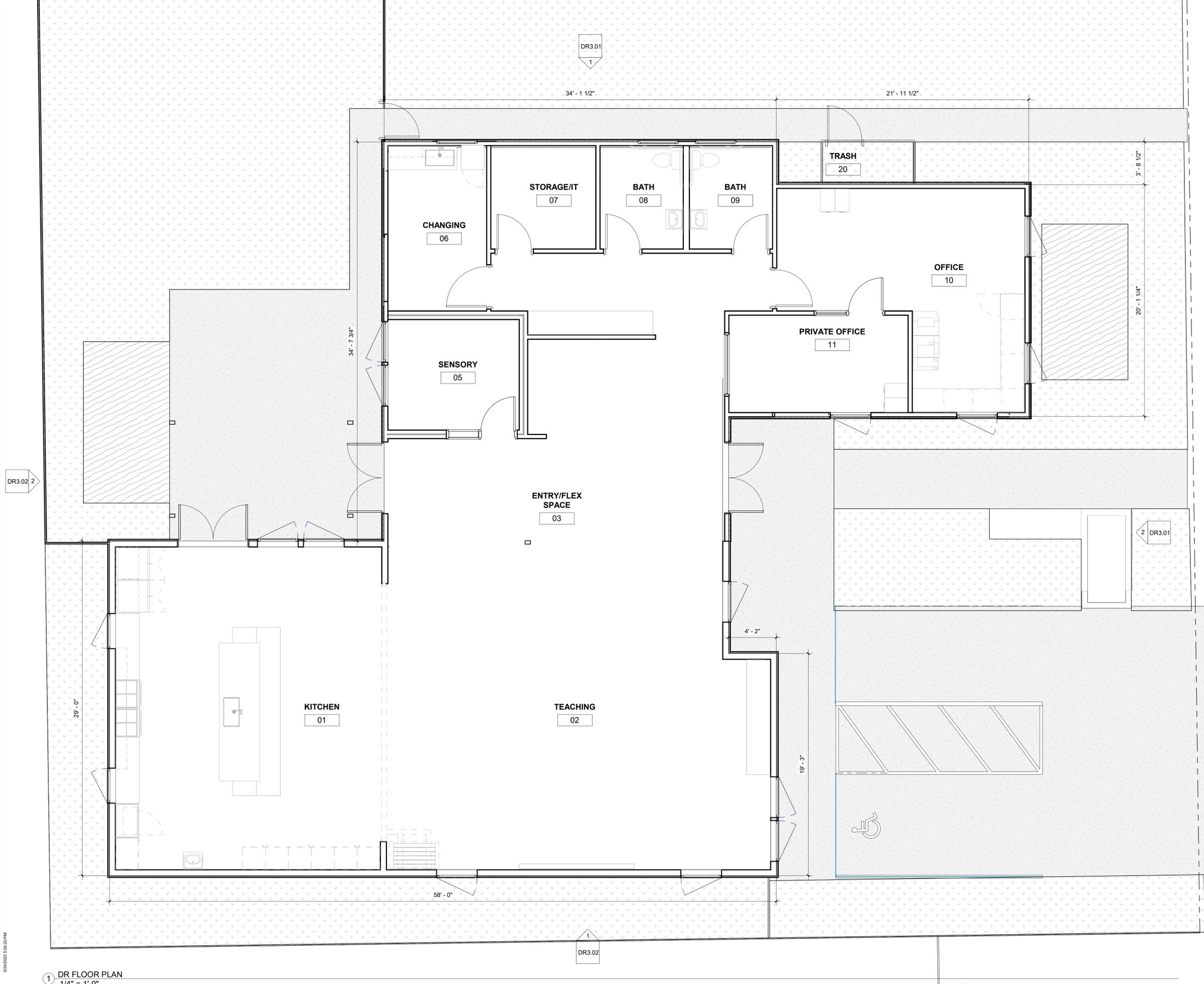


ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

DEVELOPMENT REVIEW

FLOOR PLAN

DR2.01

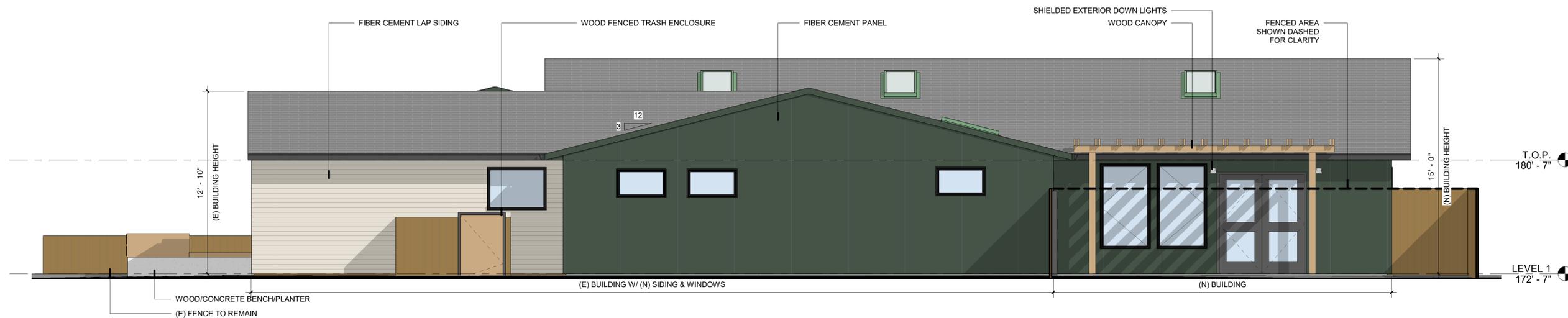


1 DR FLOOR PLAN
1/4" = 1'-0"

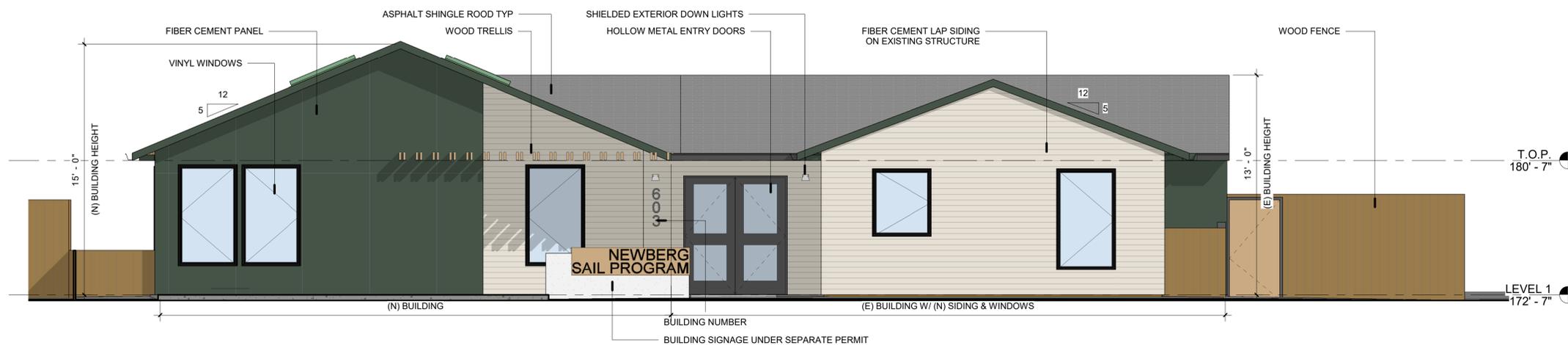
P:\Newberg Public School (SAIL Program)\SAIL Program\25-BIM\250606 - SAIL Program.rvt
5/24/22 2:00:20 PM

EXTERIOR FINISH LEGEND

-  FIBER CEMENT LAP SIDING
-  FIBER CEMENT PANEL SIDING
-  ASPHALT SHINGLE ROOF



① DR ELEVATION - NORTH
1/4" = 1'-0"



② DR ELEVATION - EAST
1/4" = 1'-0"

REVISIONS

#	DESCRIPTION	DATE

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST., NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT

DEVELOPMENT REVIEW



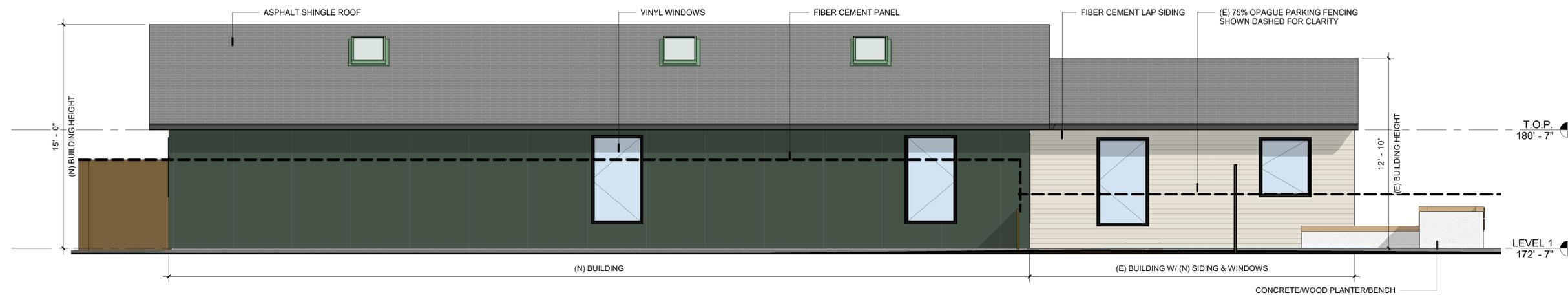
ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

ELEVATIONS

DR3.01

EXTERIOR FINISH LEGEND

-  FIBER CEMENT LAP SIDING
-  FIBER CEMENT PANEL SIDING
-  ASPHALT SHINGLE ROOF



① DR ELEVATION - SOUTH
1/4" = 1'-0"



② DR ELEVATION - WEST
1/4" = 1'-0"

REVISIONS

#	DESCRIPTION	DATE

NEWBERG SD SAIL PROGRAM CENTER

603 S MERIDIAN ST, NEWBERG OR

OWNER: NEWBERG SCHOOL DISTRICT



ISSUE DATE: 5/17/22
PROJECT NO: 22002
DRAWN BY: Author

DEVELOPMENT REVIEW

ELEVATIONS

DR3.02

**IMPERVIOUS AREA CALCULATIONS
FOR TAX LOT 800**

EXISTING (SF)	2,838
PROPOSED (SF)	5,154
NET ADDITION (SF)	2,316

LIDA FACILITY A SIZING CALCULATIONS

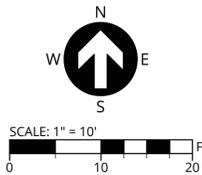
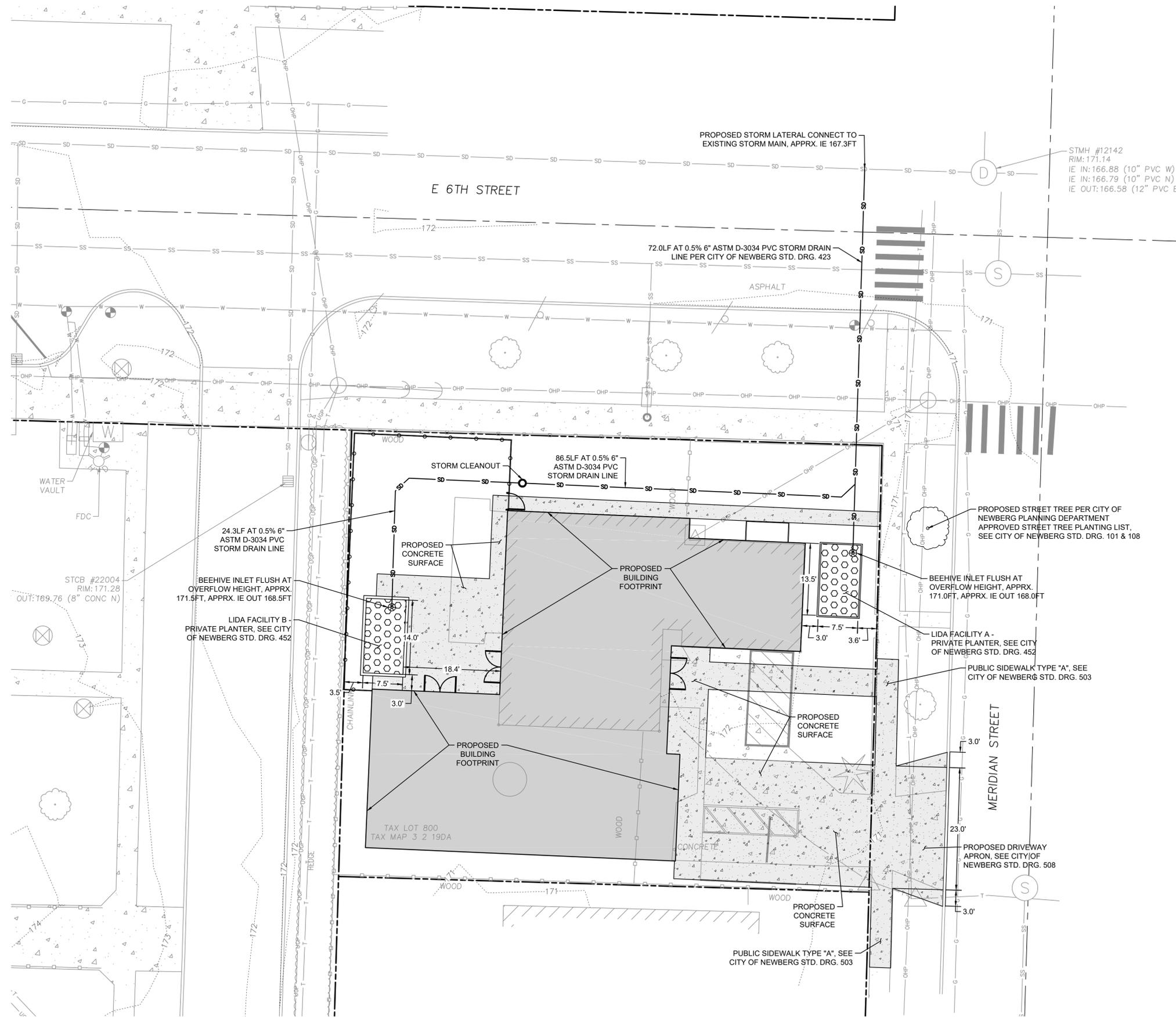
FLOW-THROUGH PLANTER	100 SF
----------------------	--------

NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.

LIDA FACILITY B SIZING CALCULATIONS

FLOW-THROUGH PLANTER	105 SF
----------------------	--------

NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.



LEGEND

- PROPOSED CONCRETE
- PROPOSED BUILDING FOOTPRINT
- LIDA PLANTER TREATMENT FOOTPRINT
- PROPOSED STORM PIPE
- PROPOSED BEEHIVE INLET
- PROPOSED STORM CLEANOUT
- PROPOSED STREET TREE

REVISIONS

#	DESCRIPTION	DATE

NEWBERG SAIL PROGRAM PROJECT

NEWBERG, OR

OWNER: NEWBERG SCHOOL DISTRICT

SCHEMATIC DESIGN

ISSUE DATE:	05/24/2022
PROJECT NO.:	22766
DRAWN BY:	TEG, JTE

**PUBLIC IMPROVEMENT
AND STORMWATER
MANAGEMENT PLAN**

C1.0

3J CONSULTING

CIVIL ENGINEERING | WATER RESOURCES | COMMUNITY PLANNING

PRELIMINARY
STORMWATER
MANAGEMENT
REPORT

Newberg SAIL
603 S Meridian Street
Newberg, OR

May 24, 2022

Prepared For:

Newberg School District
714 E 6th Street
Newberg, OR 97132



Prepared By:

3J Consulting, Inc.
9600 SW Nimbus Avenue, Suite 100
Beaverton, Oregon 97008
Project No: 22766
KEF

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DESIGNER'S CERTIFICATION & STATEMENT

I hereby certify that this Stormwater Management Plan for the Newberg SAIL project has been prepared by me or under my supervision and meets minimum standards of the City of Newberg and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me.

EXECUTIVE SUMMARY

The Newberg Support, Advocacy for Independent Life (SAIL) project is proposed at 603 S Meridian Street in the City of Newberg, Yamhill County, Oregon (Taxmap ID R3219DA 00800). The project proposes a 1,700 sf addition to an existing 1,300 sf home which will be converted from the single family home to be solely used by the SAIL program. Additionally, sidewalks and a new driveway will be constructed; Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the driveway approach on S Meridian Street.

The property has an area of 8,400 sf consisting of a single family residence, concrete driveway and lawn. Roof runoff is conveyed to E 6th Street via a weephole in the curb. The curb line slopes towards the east and is eventually intercepted and conveyed south in S Center Street. There are no upstream areas draining to the property.

The frontage improvements (Offsite Area) encompasses 495 sf. Runoff from the offsite area (driveway approach and sidewalk on S Meridian Street) flows south to a catch basin at the intersection of S Meridian Street and E 7th Street. The catch basin connects to a storm line in E 7th Street conveying runoff east to discharge into the storm line in S Center Street. The storm line in S Center Street conveys flows south where it discharges into a large drainage area that eventually outfalls into Chehalem Creek.

Stormwater runoff will drain to two new flow-through planters for water quality treatment and detention. The planters have been sized using the City's LIDA Sizing Form (Standard Drawing 451) since the increase in impervious area is less than 2,877 sf. The planters will discharge to a new storm line in the northern portion of the property that will connect to the existing storm line in E 6th Street. The preliminary approach follows the City's Facility Selection Hierarchy presented in Section 4.6.8 of the Public Works Design and Construction Standards.

As state above, the proposed development will increase the impervious area by less than 2,877 sf; therefore, a downstream Analysis was not performed.

An Operations & Maintenance Plan will be prepared in conjunction with the Final Stormwater Management Plan.

The purpose of this report is to accomplish the following:

- Describe existing and post-developed basins and drainage;
- Describe the design and analysis of the proposed stormwater management facilities; and,
- Demonstrate compliance with City of Newberg *Public Works Design and Construction Standards* (2015).

PROJECT DESCRIPTION

The Newberg Support, Advocacy for Independent Life (SAIL) project is proposed at 603 S Meridian Street in the City of Newberg, Yamhill County, Oregon (Taxmap ID R3219DA 00800). The project proposes a 1,700 sf addition to an existing 1,300 sf home which will be converted from the single family home to be solely used by the SAIL program. Additionally, sidewalks and a new driveway will be constructed. Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the driveway approach S Meridian Street.

This report will demonstrate compliance with City of Newberg *Public Works Design and Construction Standards* (2015).

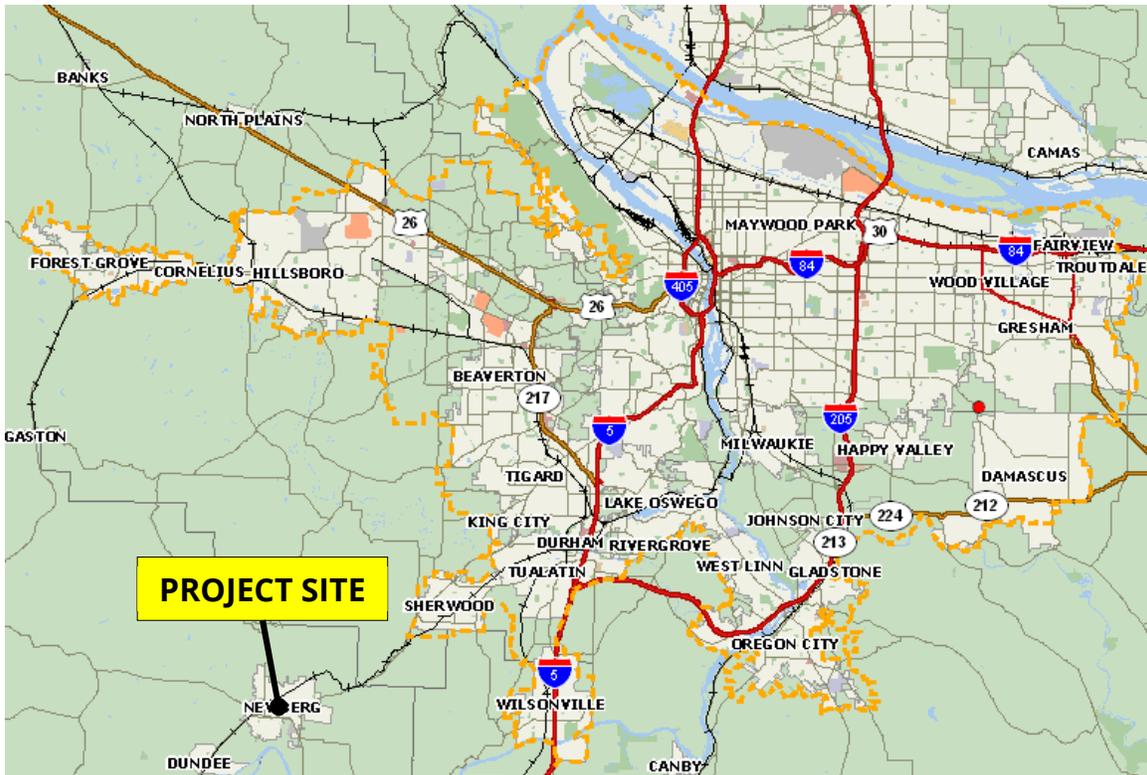


Figure 1 - Vicinity Map

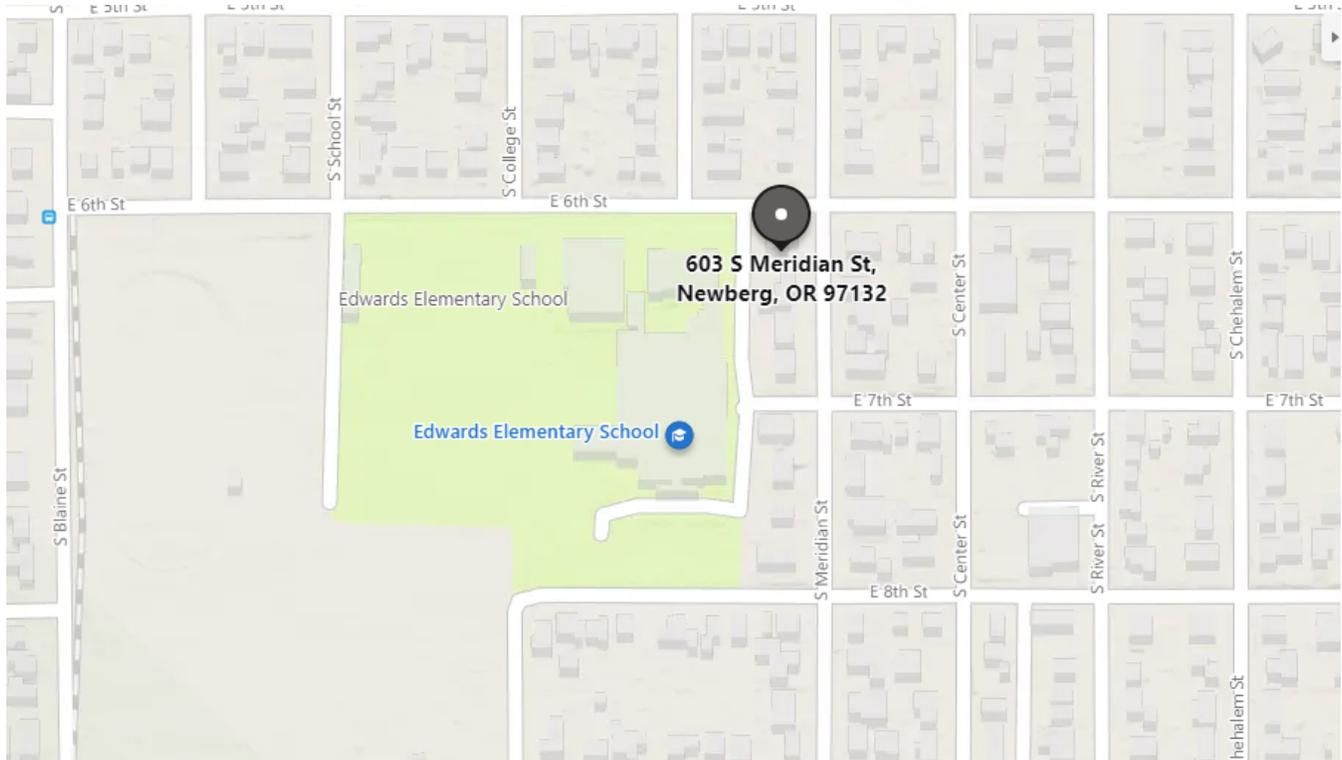


Figure 2 - Site Location

EXISTING CONDITIONS

Site

The existing site consists of a single family residence, concrete driveway and lawn. The existing home will remain. Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the new driveway approach S Meridian Street.

Soils & Infiltration

Per USDA Web Soil Survey of Yamhill County, soils underlying the project site consist of Aloha Silt Loam. This type of soil corresponds to hydrologic soil group C/D.

Flood Map

The site is located within Zone X (unshaded) per flood insurance rate map (FIRM) community-panel number 41071C0236D (See Technical Appendix: Exhibits – FIRMette). FEMA's definition of Zone X (un-shaded) is an area of minimal flood hazard.

Drainage

Roof runoff is conveyed to E 6th Street via a weephole in the curb. The curb line slopes towards the east and is eventually intercepted and conveyed south in S Center Street.

Runoff from the offsite area (driveway approach and sidewalk on S Meridian Street) flows south to a catch basin at the intersection of S Meridian Street and E 7th Street. The catch basin connects to a storm line in E 7th Street conveying runoff east to discharge into the storm line in S Center Street.



The storm line in S Center Street conveys flows south where it discharges into a large drainage area that eventually outfalls into Chehalem Creek.

Upstream Basins

There are no upstream basins discharging runoff to the site.

Basin Areas

Table 1 outlines the existing conditions for the site and offsite areas (See Technical Appendix: Exhibits - Existing Conditions).

BASIN	Contributing Basin Areas (sf)		
	Impervious	Pervious	Total
Onsite	2,838	5,562	8,400
Offsite	392	103	495
Total	3,230	5,665	8,895

Table 1 - Basin Areas - Existing Conditions

POST-DEVELOPED CONDITIONS

Site

The project proposes a 1,700 sf addition to an existing 1,300 sf home which will be converted from the single family home to be solely used by the SAIL program. Additionally, sidewalks and a new driveway will be constructed. Minor frontage improvements will be constructed to repair damaged sidewalks on either side of the driveway approach on S Meridian Street.

Drainage

Runoff from the onsite impervious areas (existing and proposed roof) will be conveyed to two new flow-through planters. The planters will discharge to a new storm line in the northern portion of the property that will connect to the existing storm line in E 6th Street.

Basin Areas

Table 2 outlines the post-developed conditions for the site and offsite areas (See Technical Appendix: Exhibits - Post-Developed Conditions).

BASIN	Contributing Basin Areas (sf)		
	Impervious	Pervious	Total
Onsite	5,154	3,246	8,400
Offsite	495	0	495
Total	5,649	3,246	8,895

Table 2 - Basin Areas - Post-Developed Conditions

The proposed project will increase the impervious area by 2,419 sf.



WATER QUALITY/QUANTITY APPROACHES

Design Guidelines

Per Section 4.9 of the City's Public Works Design and Construction Standards, projects creating less than 2,877 sf of impervious surface, the Low Impact Development Approaches (LIDA) sizing Form may be used.

LIDA Feasibility

Low Impact Development Approaches (LIDA) aims to conserve existing resources, minimize disturbance, minimize soil compaction, minimize imperviousness, and direct runoff from impervious areas onto pervious areas. LIDA should be implemented to the maximum extent practicable. The project will utilize two flow-through planters as the stormwater treatment and detention approach. The required planter size is 145 sf; however, two planters are proposed with a total area of 205 sf. The planters will treat 1,000 sf more of impervious area than required.

The new sidewalks and driveway on the east side of the site cannot be conveyed to the flow-through planters due to grading constraints. However, roof drains from the proposed home addition and the existing home will connect into each of the planters. The total area draining to the planters is 3,100 sf which exceeds the required treatment area by 681 sf.

DOWNSTREAM ANALYSIS

As state above, the proposed development will increase the impervious area by less than 2,877 sf; therefore, a downstream Analysis was not performed.

OPERATIONS & MAINTENANCE

For privately maintained stormwater management facilities, a maintenance plan that clearly identifies maintenance activities and frequency in a form that can be easily provided to and understood by the people responsible for maintenance shall be prepared. An Operations & Maintenance (O&M) Plan will be prepared in conjunction with the Final Stormwater Management Plan. The O&M Plan will include the City Standard Private Facility Maintenance Agreement form and will be submitted to the City for review. Upon approval of the maintenance agreement by the City, the applicant shall record the agreement with Yamhill County and return one fully executed original to the City Records office.

CONCLUSIONS

This report demonstrates that the proposed stormwater management facilities for the Newberg SAIL program will meet or exceed the requirements of the City of Newberg. Water Quality and Quantity will be addressed with two LIDA facilities.

TECHNICAL APPENDIX

Exhibits

- FIRMette
- Hydrologic Soil Group – Yamhill County
- Existing Conditions
- Post-Developed Conditions

Calculations

- City of Newberg LIDA Sizing Form

REFERENCES

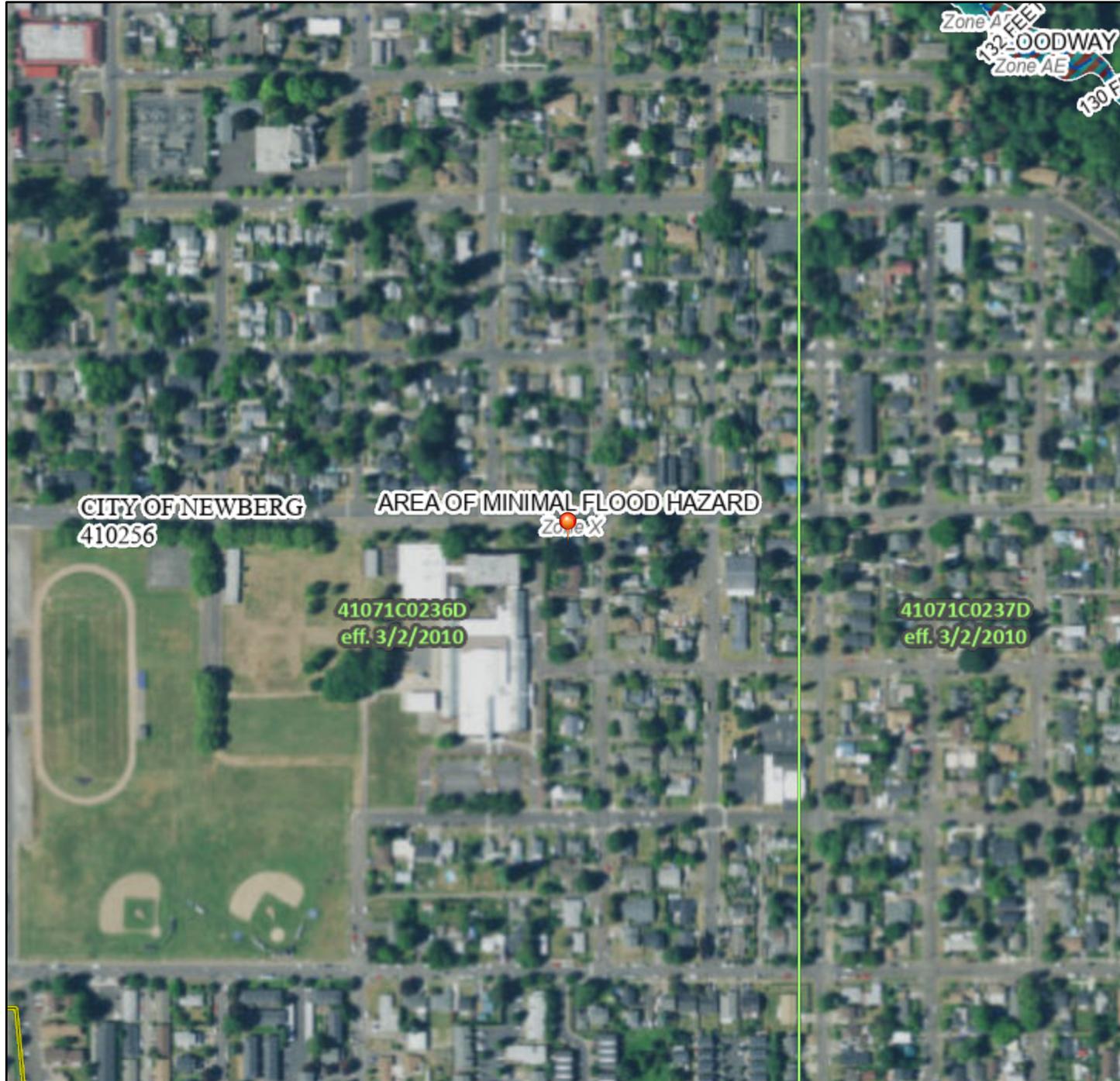
1. *Public Works Design & Construction Standards*. August 2015, City of Newberg

EXHIBITS

National Flood Hazard Layer FIRMette



122°58'34"W 45°17'57"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

122°57'56"W 45°17'32"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/18/2022 at 1:48 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

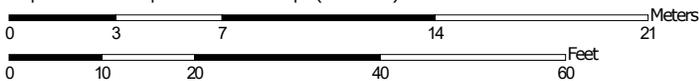
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Hydrologic Soil Group—Yamhill County, Oregon



Soil Map may not be valid at this scale.

Map Scale: 1:247 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

Soil Rating Polygons

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points

 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Yamhill County, Oregon
 Survey Area Data: Version 10, Oct 27, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 19, 2015—Sep 13, 2016

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
2300A	Aloha silt loam, 0 to 3 percent slopes	C/D	0.3	100.0%
Totals for Area of Interest			0.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

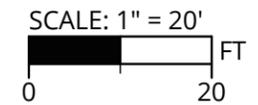
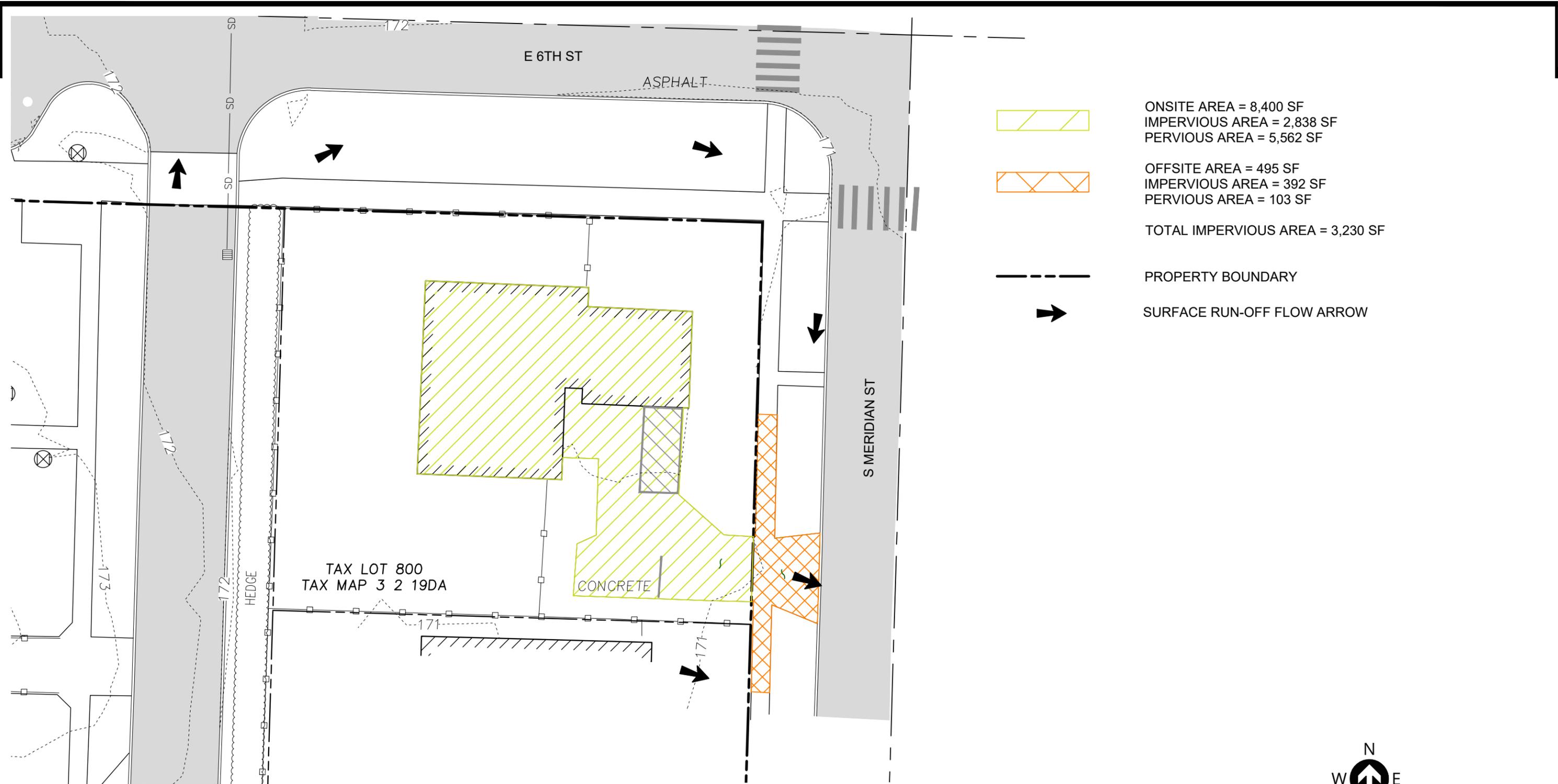
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

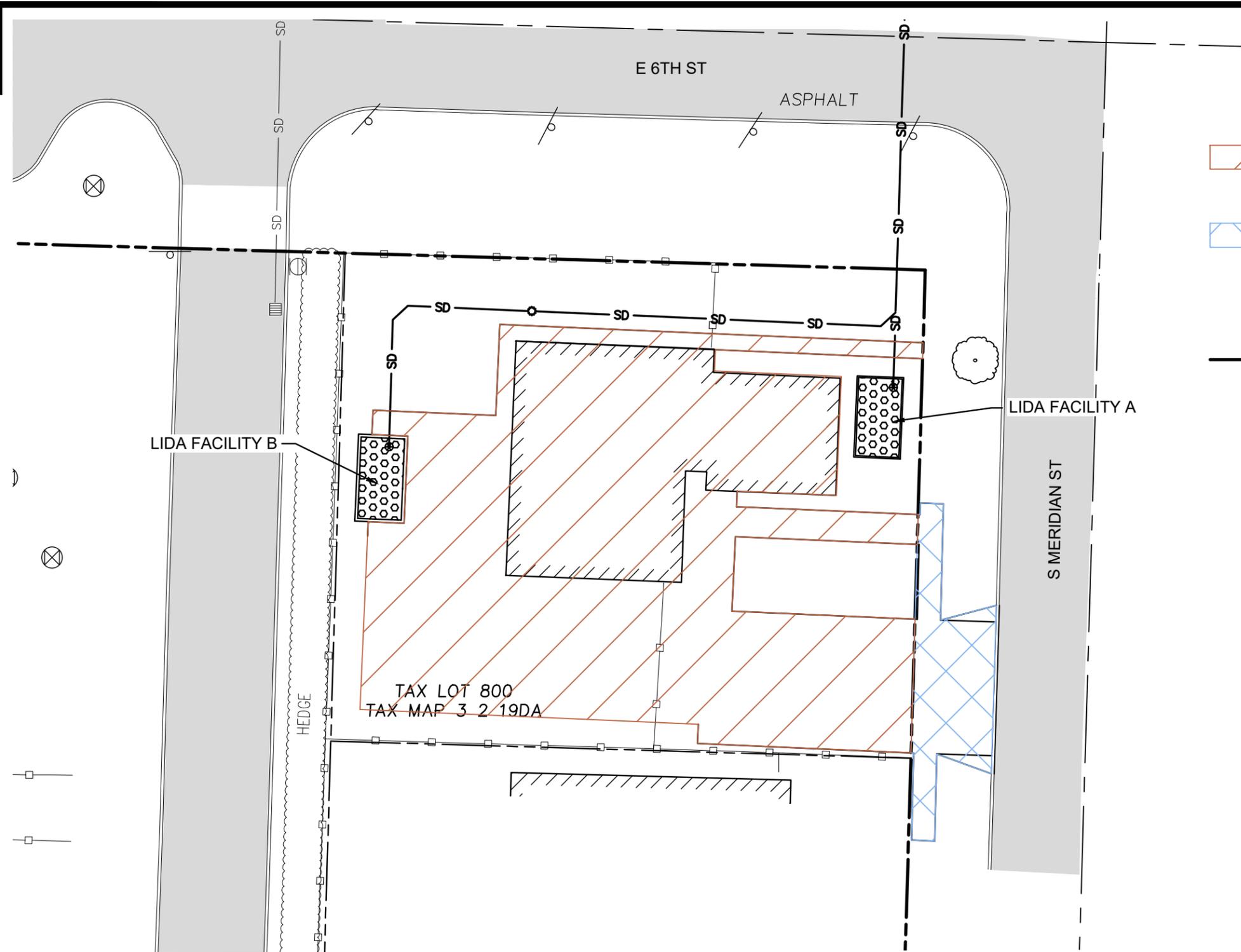
Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher





	ONSITE AREA = 8,400 SF IMPERVIOUS AREA = 5,154 SF PERVIOUS AREA = 3,246 SF
	OFFSITE AREA = 495 IMPERVIOUS AREA = 495 SF PERVIOUS AREA = 0
	TOTAL IMPERVIOUS AREA = 5,649 SF NET INCREASE IN IMPERVIOUS AREA = 2,419 SF
	PROPERTY BOUNDARY

LIDA FACILITY A SIZING CALCULATIONS

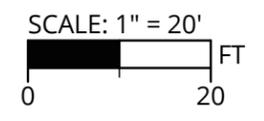
FLOW-THROUGH PLANTER	100 SF
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NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.

LIDA FACILITY B SIZING CALCULATIONS

FLOW-THROUGH PLANTER	105 SF
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NOTE: FLOW-THROUGH PLANTER SIZED TO 6.0% OF NET ADDITIONAL IMPERVIOUS AREA PER CITY OF NEWBERG STANDARD DRAWING 451.



CALCULATIONS

City of Newberg LIDA Sizing Form

(Include this form with plan submittal)

Project Title: Newberg SAIL

Project Address: 603 S Meridian Street

Project Taxlot/ Taxmap#: R3219DA 00800

Project Location: Southwest of the intersection of E 6th Street and S Meridian Street

Contact Name/Title/Company: Kathleen Freeman/Water Resources Project Manager/3J Consulting

Phone/e-mail: 503-946-9365 kathleen.freeman@3j-consulting.com

STEP 1: Determine Impervious Area Requiring Treatment

Total Gross Site Area (acres):	0.2042	Pre. Dev. Impervious Area (ft):	3,230 (X)
Proposed Net New Impervious Area (ft): (PA)= (Y) - (X)	2,419 (PA)	Post Dev. Impervious Area (ft):	5,649 (Y)

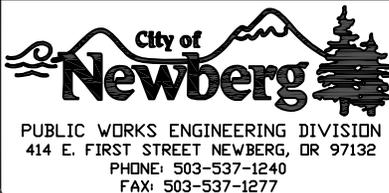
STEP 2: Deduct Impervious Area LIDA Credits

Porous Pavement (sq. ft.):	0 (P)
Green Roof (sq. ft.):	0 (G)
Other Credits as approved (sq. ft.):	0 (O)
Total Credits (sq. ft.): (C)= (P)+(G)+(O)	0 (C)
Impervious Area Requiring Treatment (sq. ft.): (IA)= (PA) - (C)	2,419 (IA)

STEP 3: Size LIDA Facilities for Remaining Impervious Area

	Impervious Area Treated (sq. ft.)	SF, Sizing Factor	LIDA Facility Size (sq. ft.)
Infiltration Planters/ Rain Garden		0.045	
Flow-through Planter	2,419	0.060	145 Required 205 Provided
Public Flow-through Planter		0.060	

Total Impervious Area Treated (sq. ft.)	2,419	MUST BE EQUAL TO (IA)
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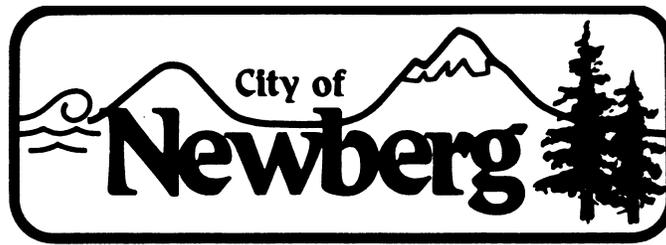
REVISIONS:

LIDA SIZING FORM

SCALE:	N.T.S.
DATE:	MARCH 2014
APPROVED BY:	JAY H.
STANDARD DRAWING	451

Planning & Building.
(503) 537-1240

City Attorney
(503) 537-1206



414 East First St.
PO Box 970
Newberg, OR 97132

July 31, 2007

Newberg School District 29J
714 E. Sixth Street
Newberg, OR 97132

Re: **File # DR1-07-016 & ADJC 07-006**; Conversion of residence to classrooms and code adjustment in regard to setback standards for a school use in a residential zone.

Dear Waide,

The Planning & Building Director has approved your design review and code adjustment application with conditions for the conversion of a single family home to a classroom. The purpose of this letter is to inform you of the approval, design review and code adjustment criteria, conditions of approval, appeal period deadline, and the approval expiration date.

Your plan proposes to convert a single-family residential home for classroom, storage, and office use. This site is within the R-2 Medium Density Residential District, which permits school uses outright. However, the existing home does not conform to the setback standard of the code which requires school buildings in residential zones to be setback 25 feet from all property lines.

Type 1 Design Review criteria:

1. Parking: The proposed site plan illustrates no off street parking on site. You have indicated that the existing two car garage will not be used for parking rather used as an instruction area. However, off street parking is provided at the Newberg School District offices next door at 714 E. Sixth Street therefore meeting parking requirements. A letter submitted by Anne Wylie, Director of Special Programs, indicates that most of the time parking will be off-site at 714 E. Sixth Street. If parking is to occur at 603 S. Meridian, three parking spaces are required. One space is required to be ADA van accessible. Please contact the Building Division for design specifications.
2. Setbacks and general requirements: The building is located on a corner lot at the intersection of Sixth Street and Meridian Street. The building on the site is setback from the front, and interior yards approximately 15 feet and 15 feet, and 32 feet and 29 feet respectively. The building, if used for school use, is non-conforming regarding the front yard setbacks. You have applied for a code adjustment which has been reviewed and approved by the Planning & Building Director.

The curb and sidewalk along Sixth Street a Meridian Street is found to be in good condition. No improvements to the pedestrian system are required at this time. Furthermore, the existing concrete driveway will provide a sufficient on-site pedestrian

walkway connecting to the sidewalk within the public right-of-way along Meridian Street.

An existing storage shed is located in the southwest corner of the lot located approximately 2 feet from the southern property line and 2 feet from the eastern property line. Because this storage building is not being used or maintained for use as a school, the 25 foot setback requirement does not apply. However, the storage shed is required to conform to the 5 foot residential interior yard setback requirements.

3. Landscaping: No additional landscaping has been proposed as part of this plan. Existing landscaping includes blue spruce trees with a rock bed along the south property line between the drive aisle and the neighboring property, several mature trees, several bushes along the north side of the building, and grass lawn on all four sides of the building. If the existing driveway is used for parking, then grass or ground cover plants are required in addition to the existing blue spruce trees in the landscape strip along the southern property line.

One existing street tree is located along the Sixth Street right of way. No street trees exist along the Meridian Street right of way abutting this property. As a condition of approval street trees are required to be placed along Sixth Street and Meridian Street approximately 35-40 feet on center. The type of tree used should be chosen from the City's preferred street tree list.

4. Signs: No signs are proposed at this time. Any future signs on the site will require a sign permit application to be submitted to the Planning & Building Department.
5. Lighting: No lighting has been illustrated on the proposed plan. However, upon site inspection there are existing flood lights located on the west side of the home. As a condition of approval light calculations are required to be submitted illustrating that any existing or additional exterior lighting does not exceed more than 0.5 foot candles at the property line.
6. Zoning district compliance: The building located at 603 S. Meridian Street is within the R-2 Medium Density Residential District. School uses are permitted outright.

Type 1 Code Adjustment criteria:

The Development Code requires all school buildings to be setback 25 feet from all property lines. The existing building has interior yard setbacks of 32 and 29 feet. Regarding the front yards, the setbacks are approximately 15 from both the southern property line along Sixth Street and the western property line along Meridian Street.

The general purpose of the 25 foot setback requirement is to provide an adequate buffer between residential uses and typically more intense uses that are allowed in residential zones (schools, churches, etc.). Based on applicable criteria the Director may approve an adjustment to front yard setbacks up to 25 percent of the dimensional standard (in this case 18.75 feet).

For approval of a front yard setback adjustment the Director must find that approval will result in the following; more efficient use of the site; preservation of natural features, where appropriate; and adequate provisions of light, air and privacy to adjoining properties.

1. Front yard setback adjustment up to 25 percent of dimensional standards: Under this provision the maximum setback adjustment that can be made is 18.75 feet. Because the setback requirement is intended to protect neighboring properties it is found that setback adjustment approval is valid based upon the following;
 - The setback along Meridian is 15 feet however the neighboring property line is across Meridian Street, about 75 feet away. It is found that the existing setback plus the street distance (90 feet total) is an adequate buffer to meet this criterion.
 - The setback along Sixth is 15 feet while the neighboring property line is across Sixth Street, about 75 feet away. It is found that the existing setback plus the street distance (90 feet total) is an adequate buffer to meet this criterion.
2. More efficient use of the site: By approving the setback and subsequently approving the change of occupancy of the single-family home to school functions, it is found that the site will be used more efficiently. Greater efficiency is exhibited through the use of an existing building and open space for educational purposes.
3. Preservation of natural features, where appropriate: Existing natural features worth noting are two mature oak trees, and one mature lilac tree in the public right of way along Sixth Street. The plan proposal does not indicate that any of these natural features will be removed.
4. Adequate provisions of light, air and privacy to adjoining properties: It is found that light, air, and privacy of adjoining properties will not be affected by adjusting the front yard setback requirements. As mentioned previously the interior yard setbacks conform to the requirements, while the existing front yard setbacks are adequate due to the distance to the neighbors across the streets.

Your application meets the design review and code adjustment criteria and is therefore approved, with the following conditions:

1. **Submit a revised landscape plan illustrating the type and location of required street trees.**
2. **For any proposed parking, please provide a revised parking plan.**
3. **For any exterior lighting, submit calculations illustrating that exterior light will not exceed 0.5 foot candles at the property line, or shield or remove the existing flood light.**

Note: The conditions of approval must be completed before occupancy will be granted.

As outlined in the Newberg Development Code, you can appeal this decision to the Planning Commission within 14 calendar days. The appeal period will expire at 5:00 PM on August 14, 2007. Appeals must be in writing on a form provided by the Planning Division and accompanied by the required fee of \$315. If you appeal this decision, the Planning Division will provide you with specific requirements for public notices.

Design Review approval is only valid for one year and expires July 31, 2008. If building or construction permits are not issued within this time period, then design review approval becomes null and void and no construction may take place. If design review approval on your project is approaching its expiration date, contact the Planning & Building Department regarding extension opportunities.

Please note that a building permit application must be submitted, approved, and issued before any construction or remodeling takes place. If you have any questions please contact me at (503) 554-7728 or at luke.pelz@ci.newberg.or.us.

Regards,

Luke Pelz
Assistant Planner